

MAIN NORTH ROAD

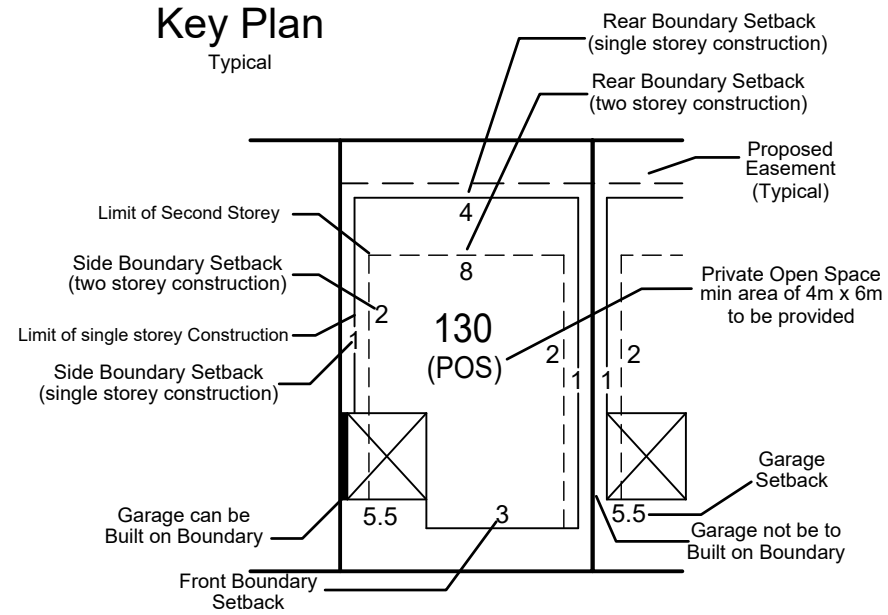
GREENSLADE BLVD

STANROSE WAY

TIVER

ROAD

Key Plan Typical



REVISION	DATE
4	25/05/21
3	09/12/20
2	09/10/20
1	21/08/20
0	19/08/20

REVISION : 4 DRAWING : 17908B23-R4 STAGE 6
 FILE No : 17908/12/10 DATE OF ISSUE : 25/05/2021
 DRAWN : FYF CHECKED : JJB



FYFE Earth Partners
 ACN 008 116 130

LEVEL 3, 80 FLINDERS STREET, ADELAIDE, SA, 5000
 GPO BOX 2450 ADELAIDE SA 5001
 TEL (08) 5201 9600
 FAX (08) 5201 9650
 E-mail info@fyfe.com.au

NOTE:

- The Allotment Development Plan must be read in conjunction with the written guidelines.
- Subject to confirmation of Easements.
- Subject to final road design.
- Building on the boundary subject to council consent.
- Subject to survey by the purchaser to confirm services locations.



ASPIRE
AT EVANSTON SOUTH

Stage 6
Allotment Development Plan










Scale 1:500

Plan A

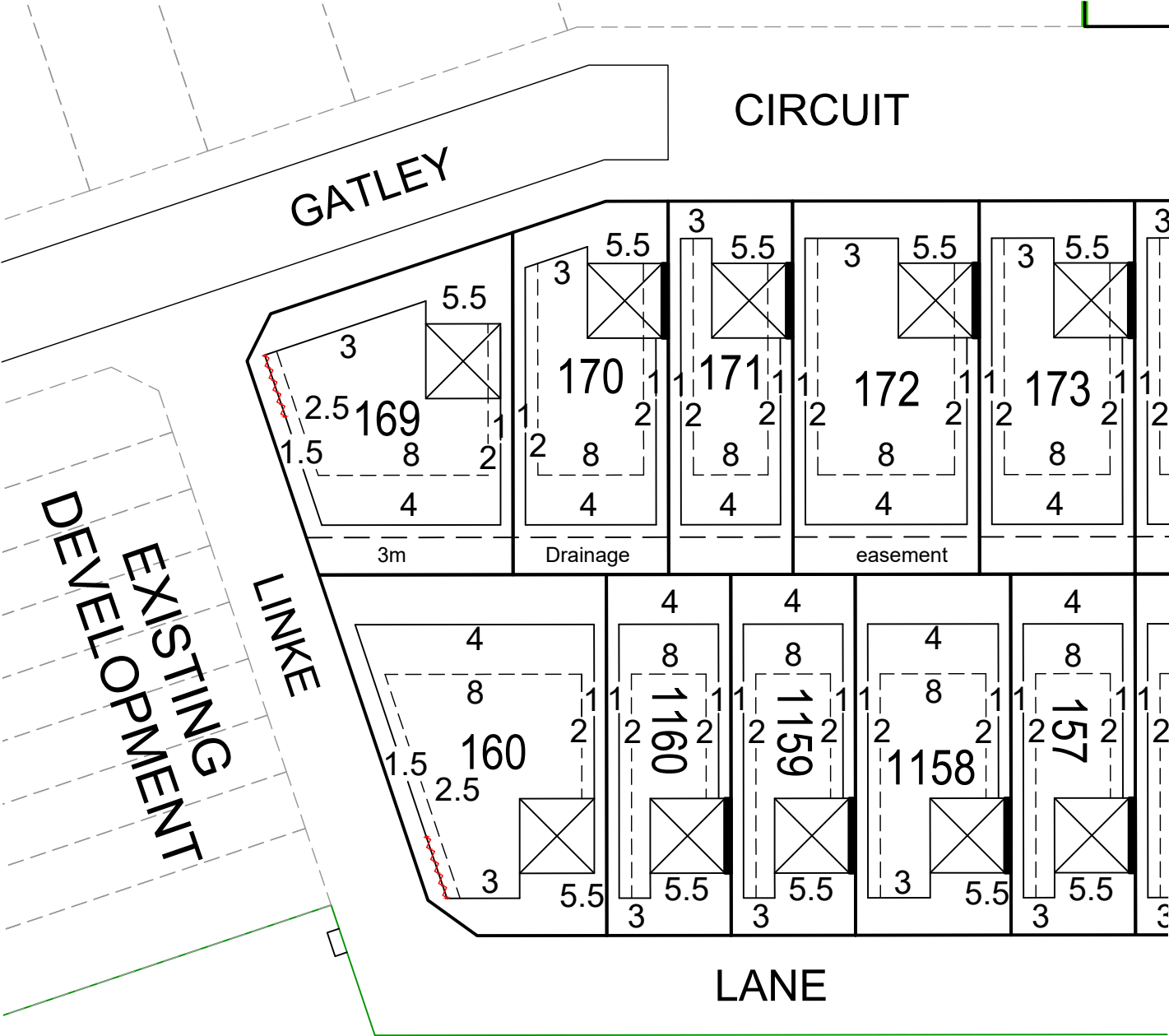
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LEGEND:

-  - LIGHT POLES
-  - WATER METER
-  - SIDE ENTRY PIT
-  - SEWER MANHOLE POSITION
-  - STORM-WATER SERVICE PIT
-  - SEWER INSPECTION POINTS
-  - DWELLING FACADE AND FENCING CONSTRAINTS APPLY
-  - EXISTING FENCING
-  - Standard Fencing by Developer (Gates / Retaining or other by Purchaser)

EXISTING DEVELOPMENT



REVISION	DATE	
4	GARAGE SETBACK UPDATED TO 5.5m	25/05/21
3	ADD BOUNDARY BUILDS TO 15m PRODUCT	09/12/20
2	AMEND 157; 1158 - 1160; REMOVE 1161	09/10/20
1	DOUBLE CARPORTS UPDATED	21/08/20
0	ISSUED FOR REVIEW AND COMMENT	19/08/20

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Original Sheet Size A3

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Reserve
STANROSE WAY



ASPIRE
AT EVANSTON SOUTH

Stage 6
Allotment Development Plan

Scale 1:500

Plan B

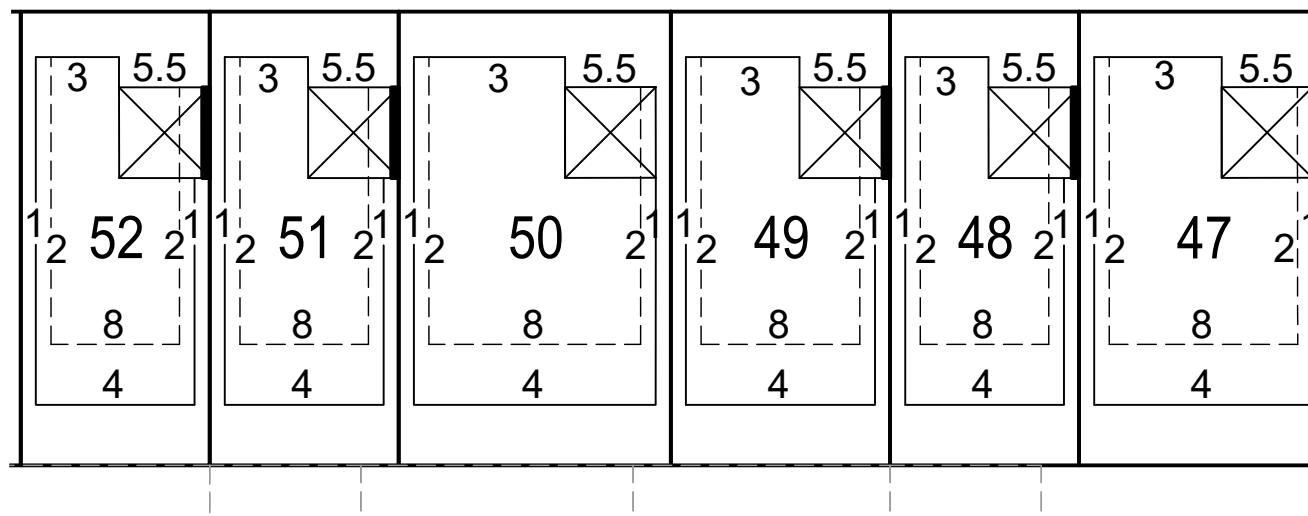
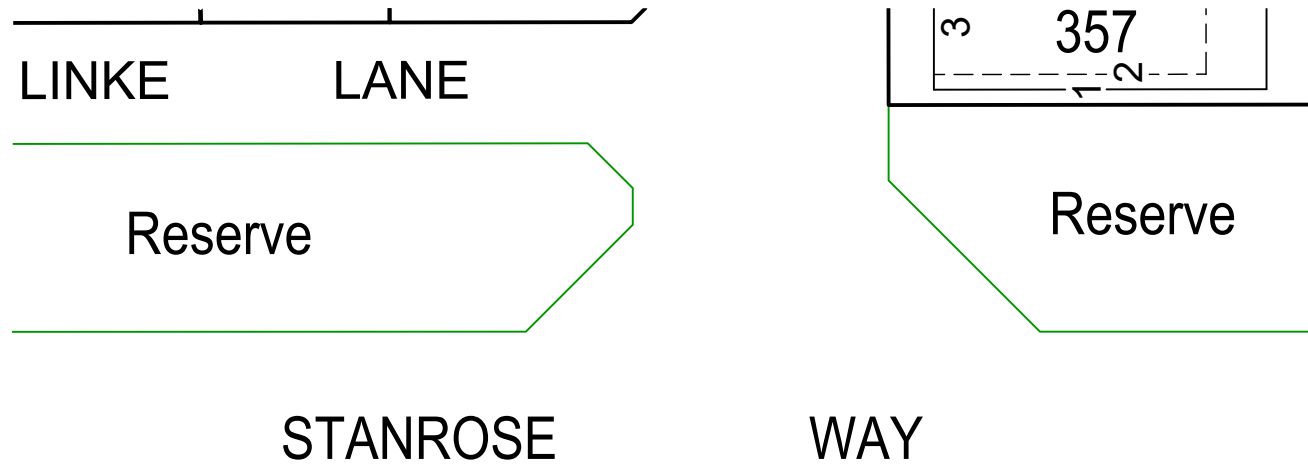
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LEGEND:

- LIGHT POLES
- WATER METER
- SIDE ENTRY PIT
- SEWER MANHOLE POSITION
- STORM-WATER SERVICE PIT
- SEWER INSPECTION POINTS
- DWELLING FACADE AND FENCING
- CONSTRAINTS APPLY
- EXISTING FENCING

Standard Fencing by Developer
(Gates / Retaining or other by Purchaser)



EXISTING DEVELOPMENT

REVISION	DATE	
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ASPIRE AT EVANSTON SOUTH

Stage 6 Allotment Development Plan

Scale 1:500

Plan C

LEGEND:

- LIGHT POLES
- WATER METER
- SIDE ENTRY PIT
- SEWER MANHOLE POSITION
- STORM-WATER SERVICE PIT
- SEWER INSPECTION POINTS
- DWELLING FACADE AND FENCING
- CONSTRAINTS APPLY
- EXISTING FENCING
- Standard Fencing by Developer
(Gates / Retaining or other by Purchaser)
- Retaining Wall by Developer

REVISION	DATE	
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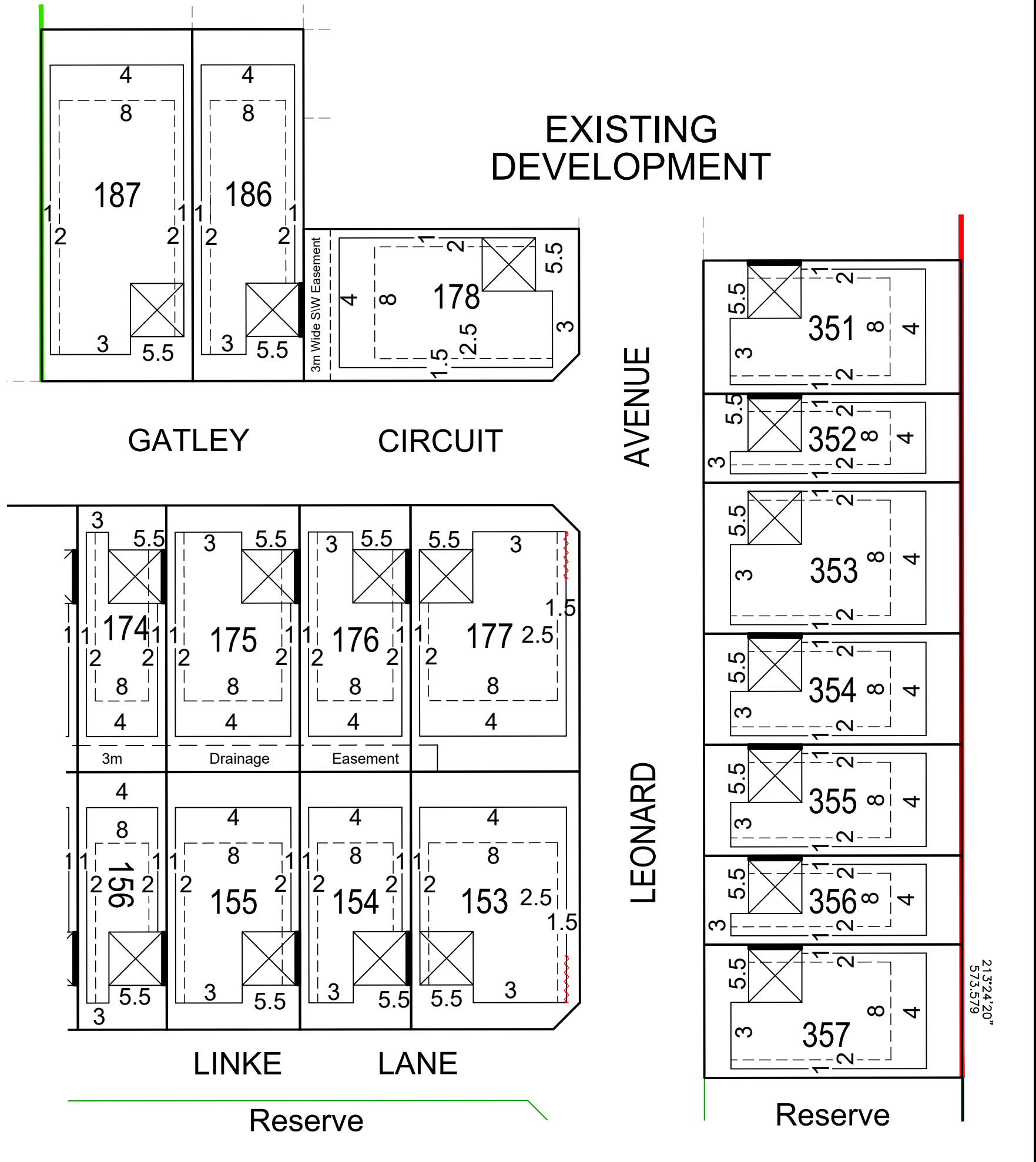
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213'24.20"
573.579