



# RIVERVIEW

URBAN DESIGN GUIDELINES





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## **URBAN DESIGN GUIDELINES**

The Urban Design Guidelines have been prepared to encourage the creation of an attractive, high quality residential environment, and will ensure development adjacent to you maintains similarly high standards to your home.

The Urban Design Guidelines should be considered in conjunction with the Playford Council Development Plan, copies of which are available for inspection at the Playford Council or online at <http://playford.sa.gov.au>

All development will be subject to the provisions contained within the Playford Council Development Plan.

## THE PROCESS

When you purchase an allotment at Riverview, an encumbrance is enforced on the title to the allotment, which requires that prior to any development of the allotment, approval must be sought and obtained from the Encumbrance Manager who will administer the Urban Design Guidelines.

All developments at Riverview must conform with the Urban Design Guidelines. This includes new house construction as well as renovations to existing houses, and the development of outbuildings and fixtures.

If applicants are unsure of whether or not their proposed dwelling or other structure meets the requirements of the Urban Design Guidelines, a sketch plan should be prepared and submitted to the Encumbrance Manager for advice prior to finalising drawings and specifications. This is aimed at streamlining the approval process and avoiding costly redesign work.

In particular, care should be taken to ensure that house designs are suitable for the particular orientation of the allotment.

The following plans should be submitted for encumbrance approval, including:

1. Site Plans (showing setbacks to boundaries and driveway locations)
2. Floor Plans and Elevations.

Applications for approval under the provisions of the Riverview Urban Design Guidelines should be forwarded to:

**Actium Land Developments Pty Ltd**  
**Attn: Encumbrance Manager**  
**110-114 Grange Road**  
**Allenby Gardens, South Australia, 5009**

No works can begin on site unless Encumbrance Approval has been received. Any development still requires the relevant approvals from the City of Playford Council.

## SETBACKS & SITE COVERAGE

Dwellings on allotments less than 550 square metres in area must be a minimum area of 115 square metres (including garage, terraces etc.)

Dwellings on allotments 550 or more square metres in area must be a minimum area of 130 square metres (including garage, terraces etc.)

Dwellings require setbacks in accordance with Riverview's Building Envelope Plans (example Figure 1). In general, Riverview has the following setbacks, however, you should always check your allotment on the relevant Building Envelope Plan.

Front Sideback:	5.0m
Side Setback Ground Floor:	0.9m
Side Setback Upper Floor:	1.9m
Rear Setback Ground Floor:	4.0m
Rear Setback Upper Floor	6.0m

Most allotments are allowed to have garages along one boundary, this is indicated with the red line along the boundary on the Building Envelope Plan.

Garages have a minimum setback of 5.5m unless facing a secondary street, where a minimum setback of 3.5m is allowed.

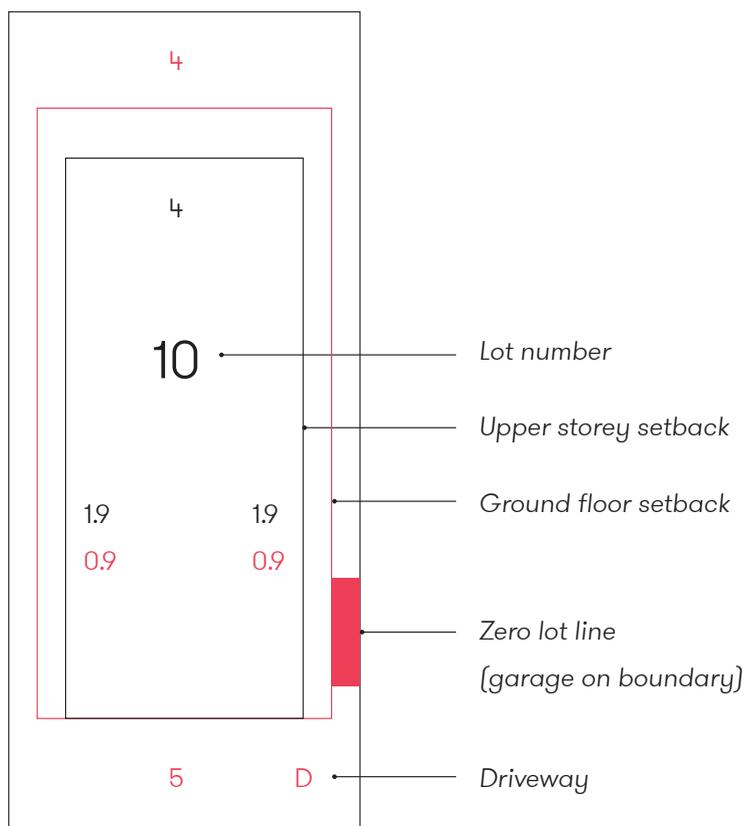


Figure 1

## BUILDING MATERIALS

### Walls

External walls of dwellings shall be constructed from the following range of building materials:

- Face brick;
- Cement rendered concrete or masonry
- Stone;
- Tilt-up concrete slab panels (painted, rendered or faced);
- Texture coated/rendered lightweight construction materials.

Other materials not listed above will be judged on their architectural merits. No building shall be erected that is a kit construction, transportable dwelling or structure, or a caravan or similar, for ongoing occupation, whether built on site or not.

### Garages, Sheds and Carports

No garage or other outbuilding of material other than brick, masonry, timber or colour coated or painted steel will be approved in Riverview. In particular, zincalume, galvanised or other reflective material will not be used and any steel or metal shall be colour coated or painted.

All supports to carports should be of substantial size (minimum 90 millimetre diameter or 90 millimetres by 90 millimetres).

Garages and carports must be provided either under the main roof, or, if freestanding, the roof form and materials must match those of the associated dwelling.

Where the rear of the garage abuts a courtyard area, a door should be provided at the rear or on the side towards the rear of the garage to provide access through the courtyard.

Outbuilding should be less than 54 square metres in area and constructed from colour coated steel as a minimum. Outbuildings larger than 54 square metres in area will only be considered on their merits and will only be assessed where they are constructed of masonry or materials to match the main dwelling.

### **Facade Design for Corner Allotments, Allotments Facing Reserves and Allotments with Frontages of 16 Metres or Less**

To promote architectural detailing and a visually interesting streetscape, corner allotments, allotments facing reserve and allotments with frontage of 16 m or less must incorporate a minimum of three of the following to the front facade of the home:

- Cement render;
- Stonework (including stone veneer panels or tiles);
- A portico or verandah;
- Panel lift doors to the garage;
- Timber window frames or aluminum window frames with architectural merit;
- Architectural details considered to contribute to the interest of the facade;

Note: The last two items will be at the discretion of the Encumbrance Manager.

Homes on corner allotments require the materials on the front facade to return along the side facade facing the secondary street for a minimum of 1.8 metres.

Homes marked with an asterisk on the building envelope plan require:

- Front elevation treatment to a minimum of 10m house length to secondary street frontage
- A living room is to face the secondary frontage within this 10m length
- Any fencing to this area will be treated as front fencing and therefore must adhere to these design guidelines for front fencing details
- Amendments to the above may be revised on merit based on the sole discretion of the encumbrance manager.

### **Roof**

Roof materials should be selected from either colour coated steel, tiles, slate or cement shingles (flat). White (not including off-white) roofs are not acceptable.

Garage roofs behind parapet walls and which cannot be viewed from adjacent roads may be constructed from galvanised iron.

The roof pitch of dwellings on allotments with a frontage of 16 metres or less should be a minimum of 25 degrees unless the architectural merits of the design justify a lower pitch. This is subject to the discretion of the Encumbrance Manager.

The roof pitch of dwellings on Allotments with a frontage greater than 16 metres should be a minimum of 22 degrees unless the architectural merits of the design justify a lower pitch. This is subject to the discretion of the Encumbrance Manager.



## VEHICLE ACCESS TO ALLOTMENTS & POSITIONING OF CROSSOVERS

### Crossovers

Triple crossovers will not be permitted. The maximum width of crossovers will be 6 metres. Refer to Figure 2. All crossovers must be constructed in the location delineated on the relevant Building Envelope Plan.

When positioning your home it is important to check your desired crossover position with the location of any obstructions such as services, light poles etc.

### Footpaths

Where the verge will include a footpath your driveway material should not interrupt the continuous material of the footpath — refer Figure 3.

Please note in some circumstances a footpath may not be installed prior to occupancy of your home. It is strongly suggested that you confirm location/size of footpaths with Actium Land Developments prior to driveways/landscaping and allow for future footpaths if required (not all sides of the road require footpaths). The developer reserves the right to alter driveways if they are in the way of footpath locations.

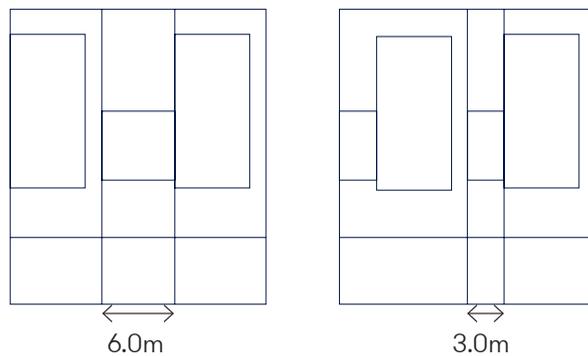


Figure 2

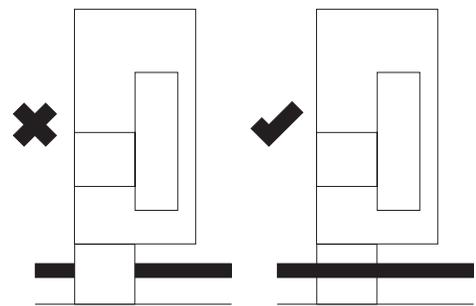


Figure 3

## DESIGN & ORIENTATION

When designing and building a home (or an extension), there are many features that can be included which will make living in the home more pleasant and will also save money on your energy bills. The simplest way to do this is to take advantage of the sun's free energy in winter and to protect your home from the sun in summer.

Winter's sun can provide natural light and warm "day-time" rooms, creating a pleasant living environment. Importantly, this also reduces demand on household energy consumption. In the summertime, these rooms can be protected from the sun with shading devices such as eaves and pergolas.

The orientation of private open space is also important in terms of enjoyment of private gardens and the ability to develop attractive gardens. The main part of the private open space should be capable of serving as an extension to the dwelling for relaxation, dining, entertainment, recreation and children's play. It should also be accessible from a main living area of the dwelling.

The degree to which living areas and areas of private open space can achieve the desired orientation depends on the orientation of the allotment relative to the road layout. A significant number of allotments in Riverview have been designed to optimise the opportunity for good solar orientation.



## FENCING

The fencing used around your home and those of your neighbours will have a major impact on the overall visual amenity of Riverview. As such, the height, materials and position of all fencing should be chosen with care.

### Fencing Forward of a Building Line

Side boundary fences must not protrude forward of the main building line unless incorporated with a decorative fence. Refer to

Figures 4 and 5. This includes side fencing on corner allotments. Note: Main building line is taken from front living area wall.

If fencing forward of the building line is to be utilised, its height and material must adhere to the chart below. Where the side fence forward of the building line abuts private open space of an adjoining property the fence can be a solid 1.8 m high fence.

### Materials & Heights — Front Fencing

Materials and heights should conform to the following:

Height	Material
900 millimetres to 1.5 metres	Picket (timber, metal with painted finish)
1.2 metres	Masonry piers with timber or painted metal uprights. Piers to be minimum 350 millimetres wide, maximum 470 millimetres wide
1.5 metres	Masonry piers with timber or painted metal uprights with a masonry plinth at minimum of 300 millimetres and a maximum of 600 millimetres in height and the masonry piers are to be minimum 350 millimetres wide, maximum 470 millimetres wide

### Side and Rear Fencing (Behind Building Line)

Side and rear boundary fences between allotments shall be constructed from pre-colour-coated iron (custom orb / corrugated profiles are not permitted except as corner fencing if combined with other decorative elements).

All side and rear fencing must be in “paperbark” colour or equivalent.

For side and rear boundary fences with a frontage to a public roadway, fencing must be of a decorative nature in accordance with the specification shown in Figure 6 below.

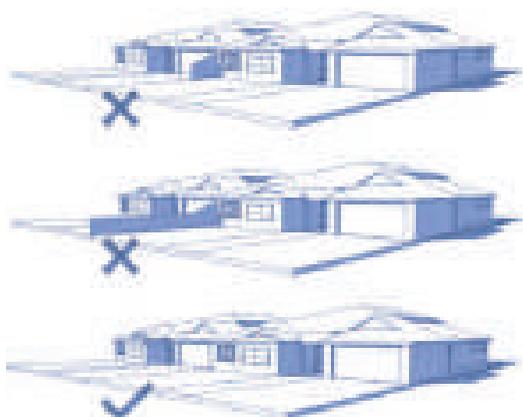


Figure 4

Fences forward of the building line must be “open” to enable views into front gardens. Solid fencing such as brush fencing will not be accepted as front fencing.

Side fencing to corner allotments may be of different material/colour with approval at encumbrance manager’s discretion.

Note: The developer will contribute towards the costs above the normal costs of a colour coated steel fence (standard “good neighbour” fence) for corner allotments to comply with the design shown in Figure 6.

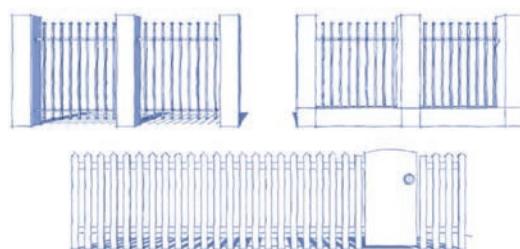


Figure 5

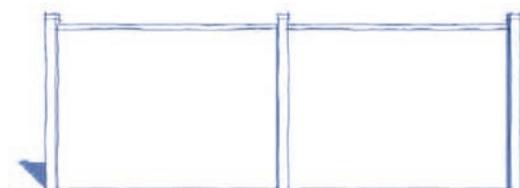


Figure 6

Timber or aluminum uprights with colour coated steel infill.

## PRIVACY

The approach to privacy outlined in these guidelines is aimed at providing acceptable solutions for both the owners of two storey homes who wish to take advantage of views from upper storey windows and the owners of adjacent properties who are entitled to certain levels of privacy.

A “rule of thumb” to determine whether a particular upper storey window or balcony requires treatment to restrict views into adjoining properties is a 15 metre wide view field. This view field is defined as:

- A 90 degree arc measured equiangular from the centre line of the window. Refer to Figure 7A; or,
- An arc defined by measuring 15 metres away from any point of the balcony.

Any upper storey windows or balconies may be untreated (i.e. clear glass with no screening) providing the 15 metre view field for that window or balcony does not extend to any point inside an adjacent allotment.

Where treatment is required, the windows must be treated by the use of one or more of the following methods:

- Fixed opaque glass to a height of 1.7 metres above the upper floor level with clear openable glass above. Refer to Figure 7B;
- Minimum sill height of 1.7 metres above the upper floor level. Refer to Figure 7C;
- Horizontal or vertical louvres to a height of 1.7 metres above the upper floor level. Refer to Figure 7D.
- The balcony will need to be designed so as to restrict views into the view field, assuming a viewing height of 1.7 metres above the floor of the balcony.
- Advanced evergreen trees or vines growing on trellises, fixed to boundary lines, may be approved where it can be shown these will provide privacy for the adjacent property owner. However, this method is not encouraged.

Upper storey windows on front elevations will be exempt from the requirements to provide window treatments.

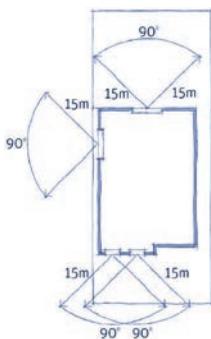


Figure 7A

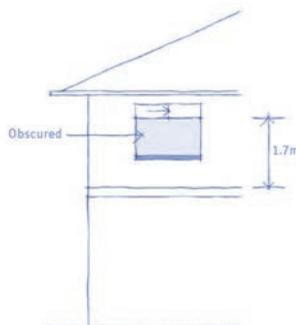


Figure 7B

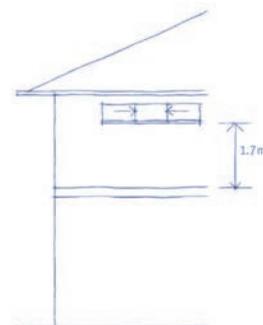


Figure 7C

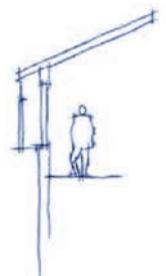


Figure 7D

## **DISPOSAL OF EXCAVATED MATERIAL**

Spoil excavated during the construction of footings or landscaping or for any other reason must not be placed on adjoining allotments at any time unless written approval has been received from the owner of the adjoining allotment.

Such spoil is to be removed immediately upon completion of the dwelling or at an earlier date as agreed with the adjoining owner.

The vacant land on which the spoil is stockpiled is to be scraped clean to natural surface with all traces of spoil removed.

It is therefore advisable to check the conditions of your building contract to determine responsibility for the removal of excess spoil. It should be noted that the Playford Council will prosecute any person caught illegally dumping spoil on Council Land.

## **LANDSCAPE TO VERGES**

Purchasers should be aware any landscaping to council verges requires approval from the City of Playford.

## **SOLAR WATER HEATER, AIR CONDITIONING & OTHER ITEMS ON ROOF**

Attachments located on the roof above eave height should generally be located so as to be unobtrusive when viewed from any public street - no items are to be placed on the front roof of the home.

No solar panels are to be on the front facade of any home (including side elevations to the front of the home). Solar panels to secondary frontage (corner lots) will be assessed on merit, however are generally not approved.

Solar water heaters must not be unduly visible from any public space and should be architecturally integrated with the dwelling.

Air conditioning on the roof should be a low profile and be located below the ridge line of the roof. Any visible unit/dropper box should be coloured to match the roof and any winter covers should also be coloured a neutral colour or match the roof

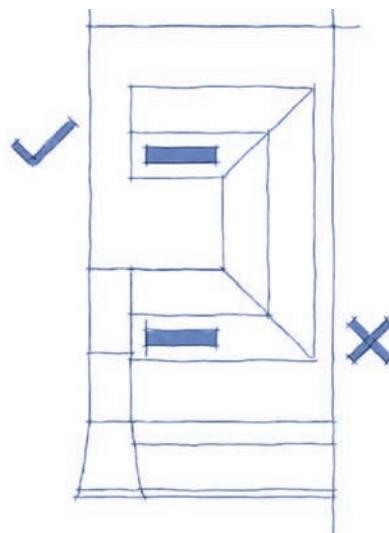


Figure 8



**Actium Land Developments Pty. Ltd**

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